

DEVELOPMENT REVIEW BOARD REPORT



MEETING DATE: May 18, 2006

ITEM NO. _____

SUBJECT **Sienna Hills
3-PP-2004#2**

REQUEST Request to approve a Preliminary Plat for a 12-lot subdivision with amended development standards on a 14-acre parcel located at the southwest corner of East Gail Road and North 124th Street (approximately ¼ mile north of East Shea Boulevard).

Key Items for Consideration:

- The Development Review Board originally approved this preliminary plat on July 7, 2005. This proposal makes two changes to the original approval:
 - Amends lot size development standard, changing from the approved 35,000 square feet to 33,000 square feet, and
 - Adds approximately 5,500 square feet of Natural Area Open Space at the south side of the property, on Lot 6.
- This is a 12-lot subdivision on 13.9 acres, averaging one unit per acre.
- The dedication of Natural Area Open Space of 4.3 acres.
- The wash will remain natural and will be preserved with drainage and Natural Area Open Space easements.

OWNER Walker / Long Holdings
602-615-9742

APPLICANT CONTACT Dan Walker
Walker / Long Holdings
602-615-9742

LOCATION 12323 E. Gail Road

BACKGROUND **Context.**

The subject property is located at the southwest corner of North 124th Street and East Gail Road. The property lies within the East Shea Area Character Plan, which encourages site planning sensitive to the environment.

Zoning.

The site is zoned Single Family Residential/Environmentally Sensitive Lands (R1-43/ESL) District.

- North McDowell Acres Subdivision improved with single-family residential homes zoned R1-43 ESL (Single-family Residential, Environmentally Sensitive Lands)

- South Unimproved parcel with permits issued for the McDowell Mountain Community Church zoned R1-43 ESL (Single-family Residential, Environmentally Sensitive Lands)
- East Desert Mountain High School and the Saint Bernard of Clairvaux Catholic Church zoned R1-43 ESL (Single-family Residential, Environmentally Sensitive Lands)
- West Desert Hills of Scottsdale Subdivision improved with single-family residential homes zoned R1-10 ESL HD (Single-family Residential, Environmentally Sensitive Lands, Hillside District)

APPLICANT'S PROPOSAL

Goal/Purpose of Request.

In 2004, the applicant requested approval of a preliminary plat with 35,000 square foot lots and amended development standards. During the review process the lot size was reduced to 33,000 feet. This revision was omitted from the Amended Development Standards Attachment at the time of approval. Because of that oversight, the applicant is returning to the Development Review Board for reapproval. The only other change from the original approval is an increase of 5,500 square feet of Natural Area Open Space as a buffer along the south side of Lot 6. All other amended development standards remain the same as the original approval. The modification of lot size will allow development on the sloping lots with retaining walls and property walls along common property lines.

The proposed 12-lot subdivision will be accessed from East Gail Road and East Sahuaro Road, both public streets. The subdivision layout maintains the existing wash corridors and leaves much of the remaining significant native vegetation intact. The major wash in its entirety running north to south along the eastern property boundary will be included in the Natural Area Open Space dedication, as well as areas along the southern and western property boundary. A total of 179,267 square feet of Natural Area Open Space is required and 187,530 will be dedicated in tracts and on the 12 proposed lots. The interior walls will be constructed of concrete block with a smooth stucco finish, cultured stone pilasters, cantera cap block, and an optional wrought iron view fence. The entry feature/fence will be painted medium brown (Tumble Weed D.E. 1057) LRV 28, and the cultured stone will be Desert Blend Cobblefield (CSV-2006) over-grouted.

Development information

- Parcel Size: 13.98 acres
- Existing Condition: Undeveloped
- Proposed Development: 12-lot subdivision (1.1 units per acre)
- Building Height Allowed: 24 feet
- Building Height Proposed: 24 feet
- Open Space Required: 179,267 square feet
- Open Space Provided: 187,530 square feet

IMPACT ANALYSIS

Traffic.

The 12 lots will generate approximately 120 trips per day. East Gail Road and North 124th Street are existing streets. Street improvements for all external streets will include roll curb and five foot sidewalks. The applicant will

construct the northern 25 feet of East Saguaro Drive. The proposed internal street, 123rd Court, will be public and constructed as a 40-foot wide street with roll curb and 5 foot sidewalks.

The 33-foot wide Government Land Office patent easements located along the perimeter of Government Land Office Lots 7 and 8 were abandoned in 2004 with case 14-AB-2004.

Water/Sewer.

Water and sewer capacity exist. The applicant will be responsible for new water and sewer infrastructure to the site.

Police/Fire.

There are no police or fire impacts. The planned density on this property has not changed since the 2004 approval.

Schools.

Scottsdale Unified School District has been notified of this application. The planned density on this property has not changed over the years and 12 homes will not impact the school district.

Open space/Scenic Corridors.

The subdivision design proposes Natural Area Open Space along its east perimeter, visible along East Sahuaro Drive, North 124th Street and East Gail Road. This design concept conforms to the City's policies for NAOS location. In addition, Natural Area Open Space is proposed along the entire west and southwest property boundary.

Community Involvement.

The applicant has notified the surrounding neighbors. Other than general inquiries, there have been no comments regarding this case. The development team made a presentation to the North East Shea Property Owner's Association (NESPOA) at their regular monthly board meeting in December 2003. Since then the applicant has had numerous meetings with the Desert Hills Homeowners Association, as well as NESPOA to review the proposed preliminary plat. The preliminary plat design and density has fulfilled the expectations of both associations.

STAFF
RECOMMENDATION

Recommended Approach:

Staff recommends approval, subject to the attached stipulations.

RESPONSIBLE
DEPT(S)

Planning and Development Services Department
Current Planning Services

STAFF CONTACT(S)

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ATTACHMENTS

1. Applicant's Narrative
2. Context Aerial
- 2A. Aerial Close-Up
3. Zoning Map
4. Preliminary Plat
5. Previously Approved Preliminary Plat – 3-PP-2004
6. Wall and Landscape Plans
- A. Fire Ordinance Requirements
- B. Stipulations/Zoning Ordinance Requirement/Amended Development Standards

Preliminary Plat Narrative for:

Sienna Hills

scottsdale, arizona

Owner & Developer: Walker / Long Holdings, Inc.
11811 N. Tatum Boulevard, Suite 1065
Phoenix, AZ 85028
[480] 657-8797

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7610 E. McDonald Drive, Suite E
Scottsdale, AZ 85250
[480] 607-5090

Engineering: Allen Consulting Engineers, Inc.
2550 N Thunderbird Circle, Suite 132
Mesa, AZ 85215
[480] 844-1666

Prepared: 01/05/04
05/15/05 [Revised]



TORNOW ASSOCIATES, P.C.

3-PP-2004#2
3/22/2006

Preliminary Plat Application Narrative for:

Sienna Hills

05/15/05 [Revised]

scottsdale, arizona

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Sienna Hills

05/15/05 [Revised]

scottsdale, arizona

LOCATION.

The 14-acre site is located at the southwest corner of Gail Road and 124th Street approximately ¼ mile north of Shea Boulevard. The site is currently vacant and surrounded by a variety of uses including:

- North McDowell Acres Subdivision [R1-43]
- East High School & Church
- South Vacant [R1-43] – Proposed Church
- West Desert Hills Subdivision [R1-10]

The Sienna Hills property is currently zoned R1-43 ESL. The Scottsdale General Plan – Land Use Element indicates ½ to 2 units per acre for this area.

DEVELOPMENT PROPOSAL.

The applicant proposes a 12-lot custom home subdivision for the 14-acre site. This is consistent with the underlying R1-43 zoning and the current General Plan designation.

ENVIRONMENTAL CONDITIONS.

E.S.L.O. Landform.

Sienna Hills is located within the Upper Desert Landform of the Environmentally Sensitive Lands [ESL] district of Scottsdale. All NAOS requirements will be based on this landform condition as described within the ESL ordinance.

Topography & Slope.

The topography for this parcel is gently undulating as the site falls from the northeast to the southwest at an average slope of 3-5%. The site is bisected by a small wash that flows through the property in a southerly direction paralleling 124th Street.

A slope analysis for the site has been prepared by Allen Consulting Engineers and has been submitted for city staff review. The required amount of NAOS is approximately 30% as indicated on those plans.

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05/15/05 [Revised]

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Vegetation/Site Features. A majority of the plant concentrations, especially the trees, very predictably follow the existing wash corridor. A native plant inventory of the site has been performed and submitted with this application. The most significant natural feature present on the site is the local wash.

Hydrology Analysis. Allen Consulting Engineers has prepared an analysis of the site hydrology. Their analysis and subsequent plans have been submitted with this application.

Archaeology Survey. A preliminary archaeological survey and report has been prepared for the site and has been submitted under separate cover.

PRELIMINARY PLAT REQUEST.

This application represents the proposed request for a preliminary plat with amended development standards and community architecture concepts. The applicant has developed a plan for the site that accommodates 12 custom home sites - the minimum lot area is approximately 33,000 square feet. The lots have been oriented around the main wash that runs adjacent to 124th Street. This provides a significant open space buffer between the future homes and the traffic and noise that is present on 124th Street. Over 30% of the site will be set aside as natural area open space [NAOS] in tracts and easements.

Access to the site is provided from Gail Road which eliminates any need for a new intersection or driveways on 124th Street. An emergency access connection is provided at the south end of the proposed cul-de-sac connecting to the future extension of Saguaro Road.

AMENDED DEVELOPMENT STANDARDS.

Amended Development Standards [ADS] are proposed with this application with the primary objective of preserving the existing wash on the site. Benefits of the ADS include:

1. Preservation of existing wash and associated vegetation in a common tract.
2. Preservation of a majority of existing large vegetation on the site.
3. Provision of NAOS buffer and setback adjacent to Desert Hills neighborhood where no setback was previously provided in Desert Hills by their builder / developer.
4. Realignment of project road to focus away from existing home north of Gail Road.
5. Provision of Scenic Setback [minimum of 40-feet] adjacent to 124th Street.
6. Eliminate potential through traffic into existing neighborhood from future development to the south and Shea Boulevard.
7. Supplemental planting of desert trees [salvaged during construction] along 124th Street to further enhance the streetscape and local neighborhood association's desire to provide a natural open space buffer in these locations within the East Shea corridor.

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Specific amendments to the R1-43 development standards are summarized below:

AMENDED DEVELOPMENT STANDARDS SUMMARY TABLE.

Development Standard	Existing Requirement	Proposed Requirement	Reduction [Percentage]
- Minimum Lot Size [s.f.]	43,000	33,000	24.2%
- Minimum Lot Width	150'	130'	13.3%
- Minimum Front Yard	40'	30'	25.0%
- Minimum Rear Yard	35'	35'	No Change
- Minimum Side Yard	20'	15'	25.0%

NO ADDITIONAL DENSITY IS ACHIEVED WITH THE AMENDED DEVELOPMENT STANDARDS.

OTHER FEATURES.

Design Guidelines and C. C. & R.'s. Community design guidelines and C. C. & R.'s will be developed for Sienna Hills and will be adopted with the approval of the final plat.

Landscape, Revegetation and Landscape Lighting. This site will feature a significant amount of undisturbed natural landscape [NAOS]. NAOS areas disturbed during construction of roads and/or other utilities will be revegetated pursuant to the ESL ordinance requirements and plant lists. Some enhanced desert landscape is proposed near the project entry. This area will be disturbed during construction and will be restored using specimen desert plants salvaged from the site and supplemented with other indigenous plants. Low voltage lighting will be used to subtly illuminate the project entry features and specimen plants. Light fixture cut sheets have been provided with this application.

Site Architecture. Due to the fact that this project is a custom home subdivision, each home site will feature an individual, site specific home design. Therefore, a traditional perimeter project wall is not proposed. However, in the interest of creating and maintaining quality and continuity, the applicant is proposing a project wall and gate feature concept to be used on all lots. The wall would be built along the edge of the development envelope on each lot. The wall is intended be neutral in color and character to blend in with the surroundings and not compete with the design of the homes. The wall may be built on a lot-by-lot basis by the individual home builder or perhaps all at one time by the developer. View fencing may be introduced in locations where privacy and visibility from adjacent streets is not compromised. The walls, project monument sign and entry feature will be constructed of stone veneer, painted stucco and cantera stone. Gates will be painted iron that complements the other elements. A packet of materials and colors has been provided with this application. See supplemental exhibits for more information on the conceptual location and style of the wall.

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scottsdale, arizona

NEIGHBORHOOD CONTACT & INPUT.

The applicant and planning team made a presentation to the North East Shea Property Owner's Association [NESPOA] at their regular monthly board meeting in December 2003. No significant points of concern were presented by the board or the residents in attendance. Several of the residents that live immediately to the west and north of the Sienna Hills development were in attendance at this meeting. Overall, the board and local resident attendees were appreciative of the plan and the setbacks and natural areas provided.

Any other communications between the applicant and neighbors or local associations will be communicated to the city planning staff.

SECTION 5.100. R1-43 SINGLE-FAMILY RESIDENTIAL DISTRICT.

Section 5.101. Purpose.

This district is intended to promote and preserve residential development. Large lots are required to maintain a low density of population. The principal land use is single-family dwellings and uses incidental or accessory thereto together with required recreational, religious and educational facilities.

Section 5.104. Property development standards.

The following property development standards shall apply to all land and buildings in the R1-43 district:

A. Lot area.

1. Each lot shall have a minimum lot area of not less than ~~forty-three thousand [43,000]~~ **THIRTY-THREE THOUSAND [33,000]** square feet.
2. If a parcel of land or a lot of record in separate ownership has less width or area than herein required and has been lawfully established and recorded prior to the date of the passage of this ordinance, such lot may be used for any purpose permitted in this section.

B. Lot dimensions.

Width. All lots shall have a minimum lot width of ~~one hundred fifty [150]~~ **ONE HUNDRED THIRTY [130]** feet.

C. Density. There shall be not more than one [1] single-family dwelling unit on any one [1] lot.

D. Building height. ~~No building shall exceed thirty [30] feet in height, except as otherwise provided in article VII.~~ **PER THE NEW E.S.L. ORDINANCE, BUILDING HEIGHTS IN ALL R1 DISTRICTS IS LIMITED TO TWENTY-FOUR [24] FEET ABOVE NATURAL GRADE.**

E. Yards.

1. Front Yard.
 - a. There shall be a front yard having a depth of not less than ~~forty [40]~~ **THIRTY [30]** feet.
 - b. Where lots have a double frontage on two [2] streets, the required front yard of ~~forty [40]~~ **THIRTY [30]** feet shall be provided on both streets.
 - c. On a corner lot, the required front yard of ~~forty [40]~~ **THIRTY [30]** feet shall be provided on each street. No accessory buildings shall be constructed in a front yard. *Exception:* On a

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corner lot which does not abut a key lot or an alley adjacent to a key lot, accessory buildings may be constructed in the yard facing the side street.

2. Side Yard. There shall be a side yard of not less than ~~twenty [20]~~ **FIFTEEN [15]** feet on each side of a building.
3. Rear Yard. There shall be a rear yard having a depth of not less than thirty-five [35] feet.
4. Other requirements and exceptions as specified in article VII.

F. *Distance between buildings.*

1. There shall be not less than ten [10] feet between an accessory building and the main building.
2. The minimum distance between main buildings on adjacent lots shall be not less than ~~forty [40]~~ **THIRTY [30]** feet.

B. [G.] *Buildings, walls, fences and landscaping.*

1. Eight-foot walls, fences and hedges are allowed on the property line or within the required side and rear yard. Walls, fences and hedges up to twelve [12] feet are allowed subject to a twenty-foot setback from the side and rear property line. Walls, fences and hedges shall not exceed three [3] feet in height on the front property line or within the required front yard, except as provided in article VII. The height of the wall or fence is measured from the inside of the enclosure *Exception:* Where a corner lot does not abut a key lot or an alley adjacent to a key lot, the height of walls, fences and hedges in the yard facing the side street need only conform to the side yard requirements.
2. Swimming pools shall be screened from adjacent properties by a protective fence or permanent structure not less than four and one-half [4 1/2] feet in height. The swimming pool shall be protected by a protective enclosure which shall be controlled by the use of self-closing gates with self-latching devices.
3. A minimum of five [5] percent of all parking lot areas shall be landscaped as determined by use permit. All landscaped areas shall be maintained to city standards.

H. *Access.* All lots shall have vehicular access on a dedicated street, unless a secondary means of permanent vehicular access has been approved on a subdivision plat.

I. *Corral.* Corral not to exceed six [6] feet in height shall be permitted on the property line or within the required front, side or rear yard.

Section 5.105. Off-street parking. The provisions of article IX shall apply.

Section 5.106. Signs. The provisions of article VIII shall apply.

Section 5.107. [Repealed by Ordinance No. 1575.]

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05/15/05 [Revised]

scottsdale, arizona

R1-43 SINGLE-FAMILY RESIDENTIAL DISTRICT SUMMARY TABLE.

Development Standard	Ordinance Requirement	Proposed Amendment	Max. ESL Reduction*	Proposed Reduction
A. Minimum Lot Area [Sq. Ft.]	43,000	33,000	25%	24.2%
B. Minimum Lot Width	150'	130'	25%	13.3%
C. Density [Dwelling/Lot]	1	1	--	--
D. Maximum Building Height [24' PER E.S.L. REQUIREMENTS.]	30'	24'	--	--
E. Minimum Yard Requirements				
1. Front Yard				
a. Front [Face of building]	40'	30'	25%	25%
b. Front [Double frontage]	40'	30'	25%	25%
c. Front [Corner lot]	40'	30'	25%	25%
2. Side Yard	20'	15'	25%	25%
3. Rear Yard	35'	35'	25%	NC
F. Distance Between Buildings [Min.]				
1. Accessory & Main	10'	10'	--	--
2. Main Bldg. On Adjacent Lots	40'	30'	25%	25%
G. Walls & Fences				
1. Standard	8'	8'	--	--
2. With 20' Setback	12'	12'	--	--
3. Within Required Front Yard	3'	3'	--	--
H. Access				
I. Corral [Height]	6'	--	--	--

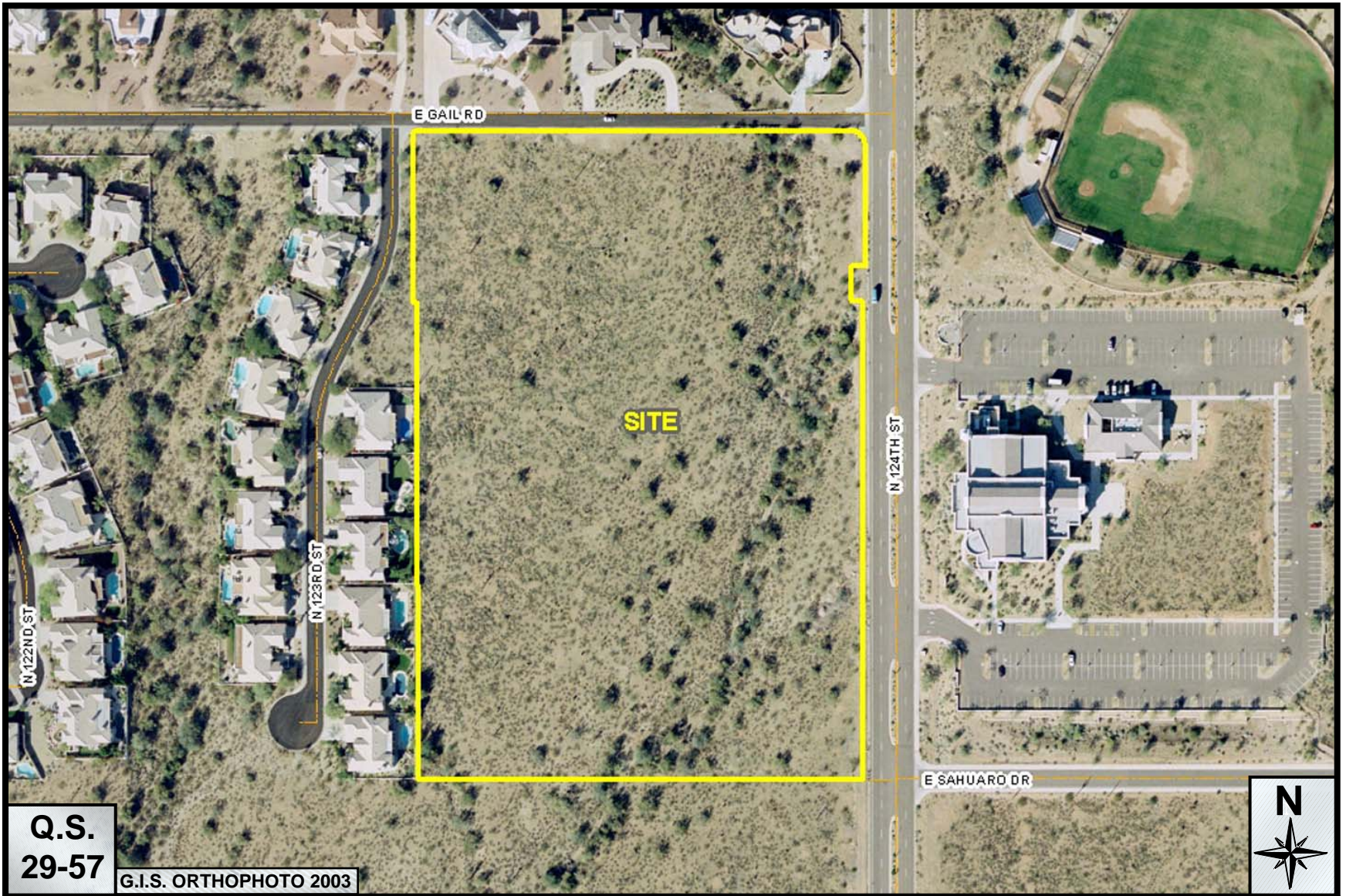
* Maximum reductions allowed by Administrative Approval as set forth in the ESL ordinance [Sec. 7.857.A].



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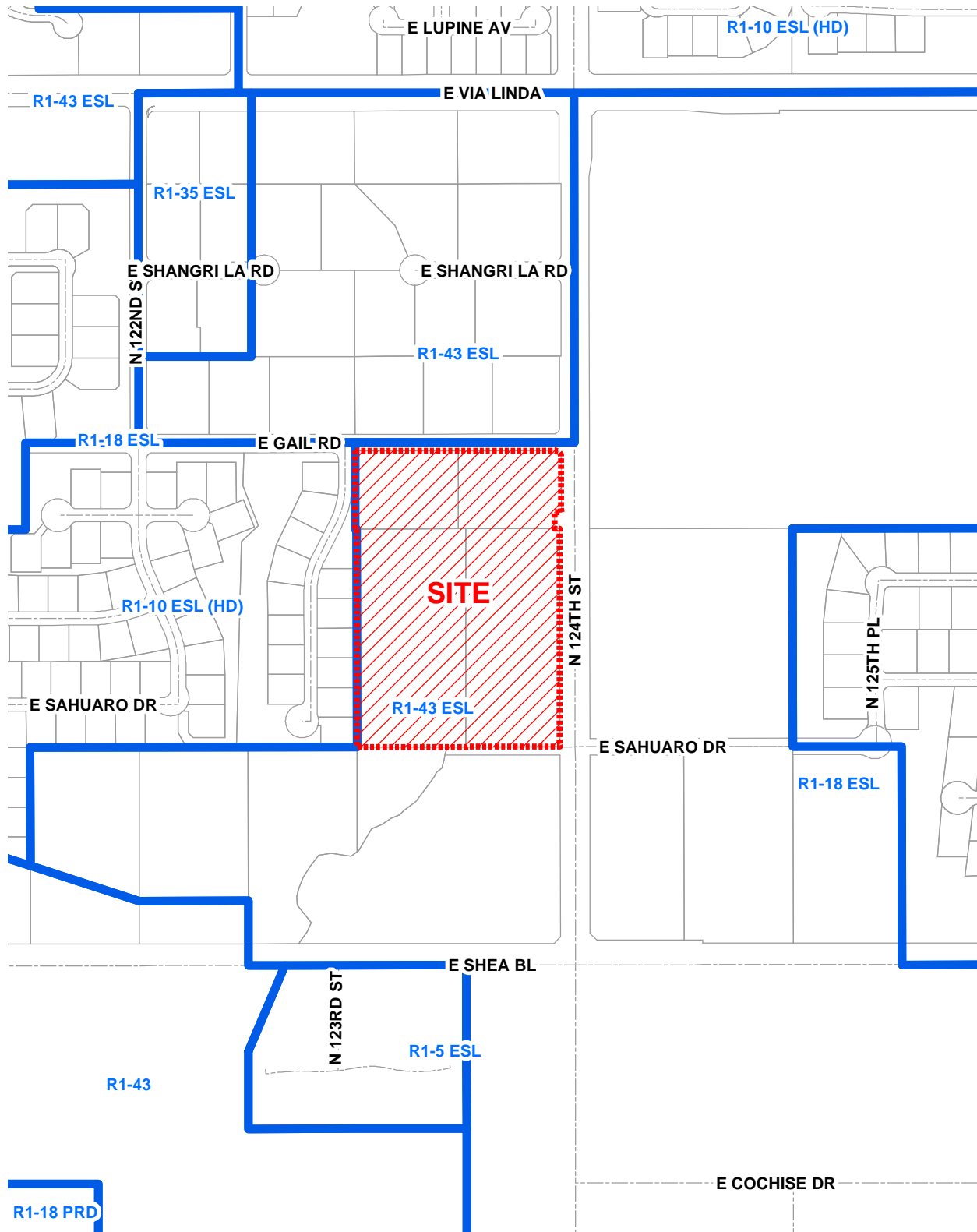
ATTACHMENT #2



Sienna Hills

3-PP-2004 #2

ATTACHMENT #2A



3-PP-2004 #2

ATTACHMENT #3

I

BUILDABLE AREA PER LOT

LOT	AREA (S.F.)
1	33147
2	33280
3	33658
4	33504
5	34159
6	34451
7	34159
8	34159
9	34159
10	34159
11	34159
12	34159
TOTAL	38752

NAOS PER LOT

LOT	NAOS AREA (S.F.)
1	33147
2	33280
3	33658
4	33504
5	34159
6	34451
7	34159
8	34159
9	34159
10	34159
11	34159
12	34159
TOTAL	38752

NAOS PER TRACT

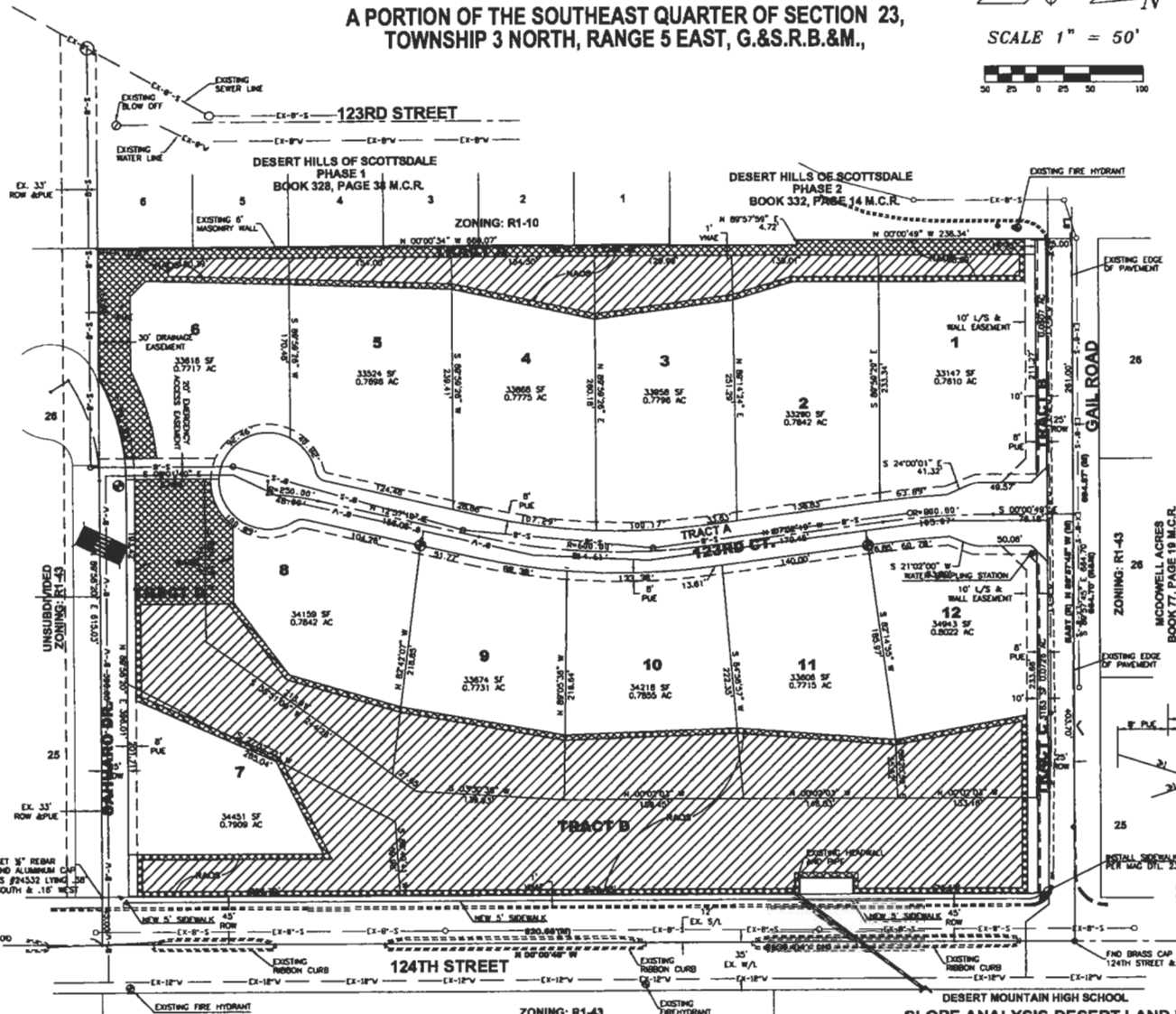
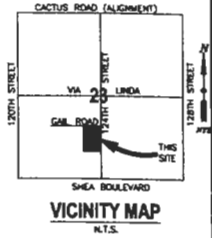
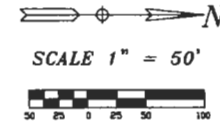
TRACT	NAOS AREA (S.F.)
A	33147
B	33280
C	33658
D	33504
E	34159
F	34451
G	34159
H	34159
I	34159
J	34159
K	34159
L	34159
TOTAL	38752

ATTACHMENT #4

3 SHEA BLVD.

SIENNA HILLS

A PORTION OF THE SOUTHEAST QUARTER OF SECTION 23,
TOWNSHIP 3 NORTH, RANGE 5 EAST, G.&S.R.B.&M.,



TYPICAL B.S.L. PLAN

N.T.S.

SITE DATA:

13.9638 AC. GROSS
12.6785 AC. NET

ZONING:

EXISTING R1-43 E.S.
PROPOSED R1-43 E.S.

DENSITY:

0.858 DU/ACRE

LEGEND

- PROPERTY CORNERS
- SEWER MANHOLE
- WATER VALVE
- BRASS CAP
- FIRE HYDRANT
- WATER SERVICE
- TELECOM JUNCT. BOX
- CABLE TV
- ELECTRICAL PULL BOX
- L/S LANDSCAPE

CONTRACTOR

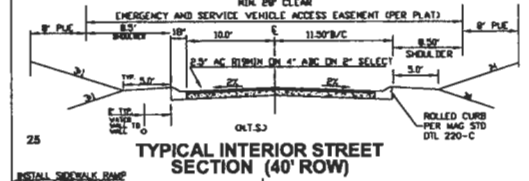
WALKER/LONG HOLDINGS, INC.
11811 N. TATUM BLVD., SUITE 1000
PHOENIX, ARIZONA 85028
PHONE: (480) 657-8797
FAX: (480) 657-0301

BENCHMARK

BRASS CAP IN MANHOLE @ THE
INTERSECTION OF 124TH STREET &
SHEA BOULEVARD
ELEVATION 1543.07 (C.O.S. 88 DATUM)

SIENNA HILLS CALCULATION

13 SINGLE-FAMILY LOTS 11.4788 ACRES 908
MINIMUM LOT AREA = 33147 S.F.



TYPICAL INTERIOR STREET
SECTION (40' ROW)

SLOPE ANALYSIS-DESERT LAND FORM

CLASSIFICATION: UPPER DESERT

SCOPE RANGE (%)	PLAN AREA (S.F.)	N. HILLS REVD. NAOS REVD. (S.F.)
0.0000 - 2.0000	3174	25
2.0000 - 3.0000	246171	25
3.0000 - 10.0000	183990	30
10.0000 - 15.0000	52960	45
15.0000 - 25.0000	30421	45
25.0000 - VERT	25980	45

TOTAL NAOS RELOD = 179267 SF
UNDISTURBED NAOS PROVIDED = 144874 SF
REVEGETATED NAOS PROVIDED = 42856 SF (22.9%)
TOTAL NAOS PROVIDED = 187530 SF

503-PA-03

ALLEN
CONSULTING
ENGINEERS, INC.

3600 N. THUNDERBOLT CIRCLE #158
MESA, ARIZONA 85216
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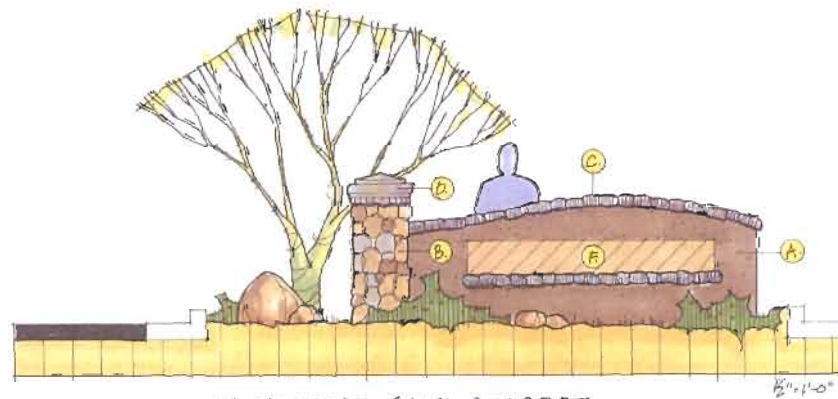
SIENNA HILLS
GAIL RD. & 124TH ST.
PRELIMINARY PLAT

JOB NUMBER	2207	SHEET	1	OF	1
DRAWING	PRELIM PLAT	CHECKED BY		DATE	02-21-06

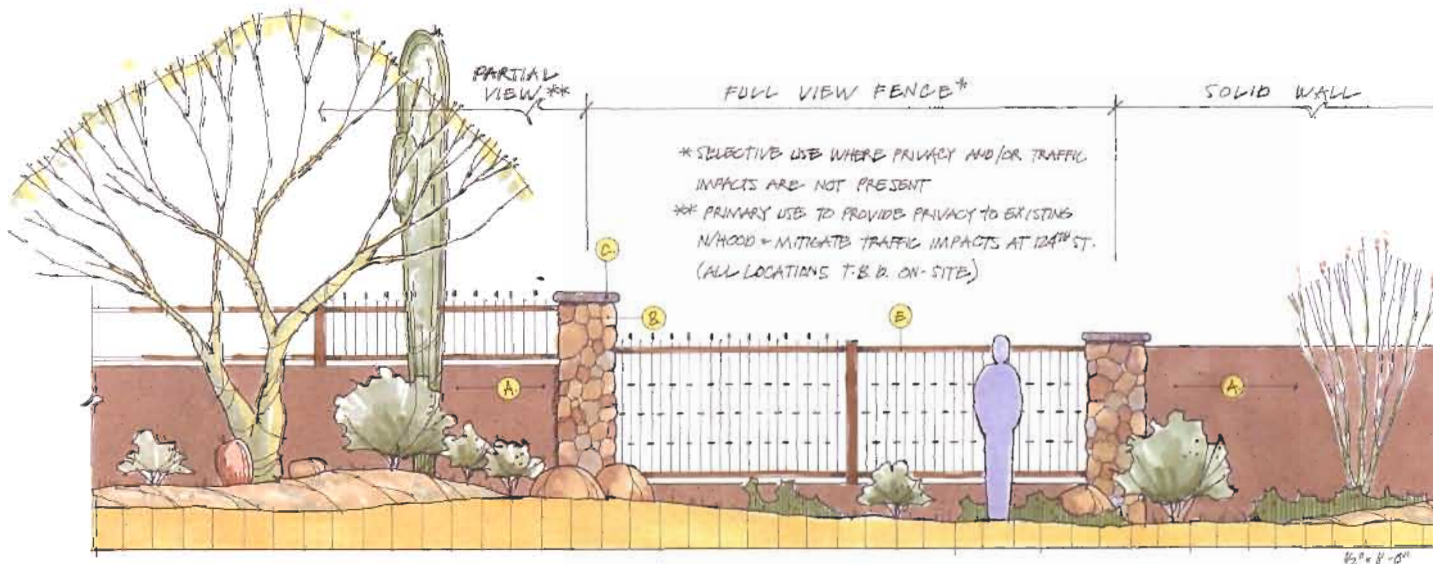
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3/22/2006

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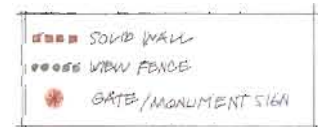
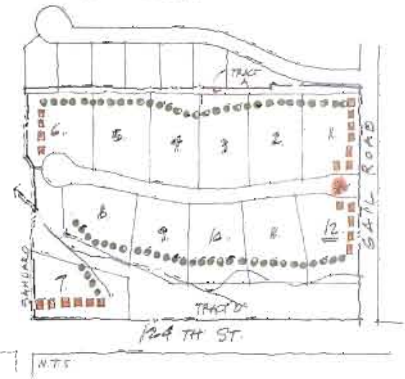
- (A) PAINTED SMOOTH STUCCO FINISH WALL
- (B) CULTURED STONE PLASTER
- (C) CANTEIRA CAP BLOCK (OPTION: PRE-CAST CONC.)
- (D) DECORATIVE CANTEIRA CAP (OPTION: PRE-CAST CONC.)
- (E) BURGHEAT IRON VIEW FENCE W/ OPTIONAL FINIALES
- (F) INSET SIGN FACE - SIGN T.B.D.
- ▶ FINAL DESIGN OF WALLS TO MEET ALL APPLICABLE AGENCY POOL CODES
- ▶ FINAL WALL HEIGHTS VARY W/ TOPOGRAPHY.
- ▶ PAINT: DARIN-EDWARDS "TIMBLE WOOD" DEK 105T (L.R.V. = 25)
- ▶ STONE: CULTURED STONE "DESERT BLEND COBBLEFIELD" (CIV. TAG) OVER-GROUTED



- MONUMENT SIGN CONCEPT -



- WALL / FENCE CONCEPTS -

Key Map

Conceptual Walks Plan for

Sienna Hills

Scottsdale, Arizona

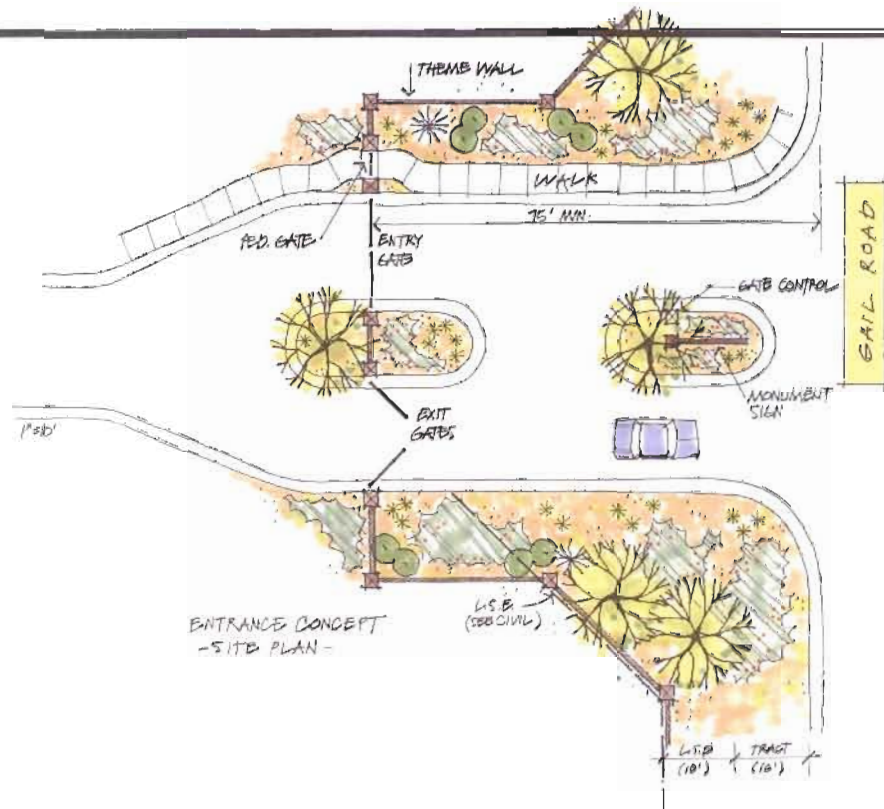
Prepared for: Walker / Long Holdings, Inc.
11811 N. Tatum Boulevard #1065
Phoenix, AZ 85028
(480) 657-8797

Prepared by: Tornow Design Associates, P.C.
7610 E. McDonald Drive, Suite E
Scottsdale, AZ 85250
(480) 607-5090

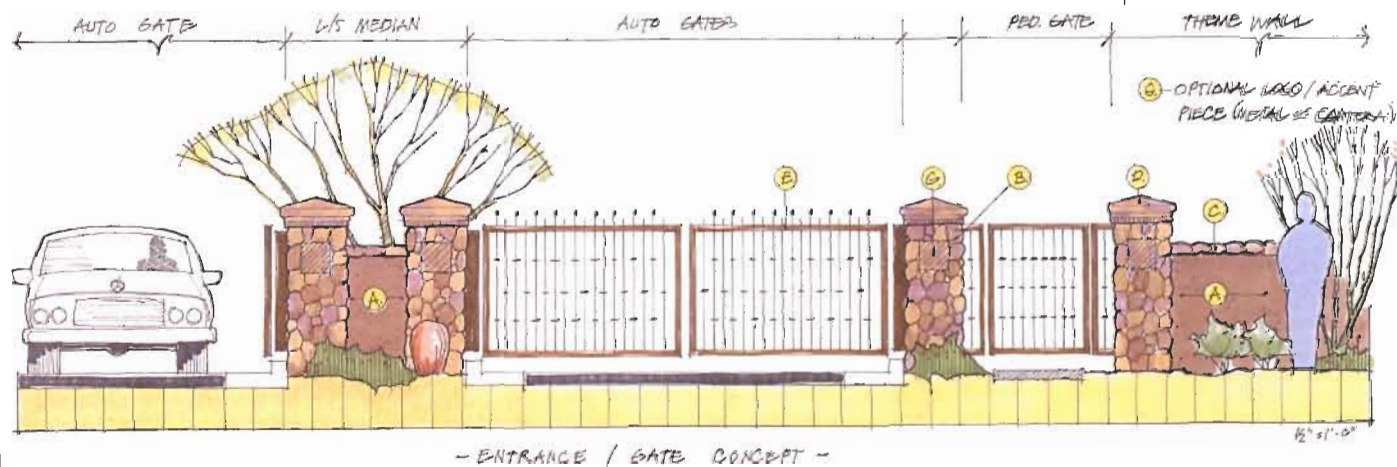
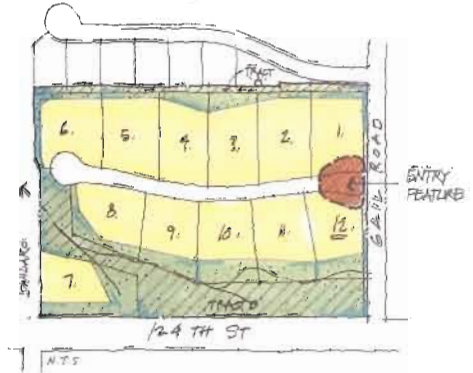
Date: 01/05/04 TDA Job No. 2003-13

Scale: 03/11/05
08/19/05 REVISED

1.



Key Map



Conceptual Walls Plan for

Sienna Hills

Scottsdale, Arizona

Prepared for: Walker / Long Holdings, Inc.
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Date: 8/10/04 TDA Job No: 2003-13

Scale: 03/24/05
03/01/06 REVISED

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Sienna Hills
12323 E. Gail Rd
Scottsdale, AZ

FIRE ORDINANCE REQUIREMENTS

(INCORPORATE THE DESIGNATED STIPULATIONS INTO FINAL PLAT)

- | | |
|--|---|
| <p><input checked="" type="checkbox"/> 1. PREMISES IDENTIFICATION TO BE LEGIBLE FROM STREET OR DRIVE & MUST BE ON ALL PLANS.</p> <p><input type="checkbox"/> 2. FIRE LANES & EMERGENCY ACCESS SHALL BE PROVIDED & MARKED IN COMPLIANCE WITH CITY ORDINANCE & IFC AT THE FOLLOWING LOCATIONS.</p> <p>_____</p> <p>_____</p> <p>_____</p> <p><input checked="" type="checkbox"/> 3. IT IS THE DEVELOPERS RESPONSIBILITY TO DETERMINE ULTIMATE COMPLIANCE WITH THE FAIR HOUSING ADMENDMENTS ACT & AMERICANS WITH DISABILITIES ACT & INCORPORATE SAME INTO THEIR BUILDING PLANS.</p> <p><input checked="" type="checkbox"/> 4. PROVIDE A KNOX ACCESS SYSTEM:</p> <p style="margin-left: 20px;"><input checked="" type="checkbox"/> A. KNOX BOX</p> <p style="margin-left: 20px;"><input type="checkbox"/> B. PADLOCK</p> <p style="margin-left: 20px;"><input checked="" type="checkbox"/> C. KNOX OVERRIDE & PRE-EMPTION STROBE SWITCH FOR AUTOMATIC GATES.</p> <p><input type="checkbox"/> 5. ADD 2-1/2" WET FIRE HOSE VALVES (NSHT) IF FLOOR AREA EXCEEDS 10,000 SQ. FT. PER FLOOR LEVEL AND/OR IF FIRE DEPT. ACCESS IS LIMITED TO LESS THAN 360°. _____</p> <p><input type="checkbox"/> 6. PROVIDE ALL WEATHER ACCESS ROAD (MIN. 16') TO ALL BUILDINGS & HYDRANTS FROM PUBLIC WAY DURING CONSTRUCTION.</p> <p><input checked="" type="checkbox"/> 7. NUMBER OF FIRE HYDRANTS REQUIRED, <u>2</u>. DEVELOPER SHALL HAVE THE REQUIRED HYDRANTS INSTALLED & OPERABLE PRIOR TO THE FOOTING INSPECTION. HYDRANTS SHALL BE SPACED AT A MAXIMUM OF <u>1200 AT 500</u> GPM THE DEVELOPER SHALL MAKE THE C.O.S. APPROVED CIVIL WATER PLANS AVAILABLE TO THE FIRE SPRINKLER CONTRACTOR.</p> | <p><input checked="" type="checkbox"/> 8. SPRINKLER SYSTEM SHALL BE INSTALLED TO COMPLY WITH MINIMUM NFPA CRITERIA 2002 EDITION & SCOTTSDALE REVISED CODES. SYSTEMS WITH 100 HEADS OR MORE SHALL HAVE OFF-SITE MONITORING. AFTER BUILDING PLAN REVIEW, INSTALLING CONTRACTOR SHALL SUBMIT (3) THREE COMPLETE SETS OF DRAWINGS & HYDRAULIC CALCULATIONS REVIEWED BY A MINIMUM NICET III DESIGN TECHNICIAN.</p> <p><input checked="" type="checkbox"/> 9. MODIFIED NFPA 13-D SYSTEM (2002 EDITION) WITH RESIDENTIAL QUICK RESPONSE SPRINKLER HEADS.</p> <p><input type="checkbox"/> 10. MODIFIED NFPA 13R SYSTEM (2002 EDITION) WITH RESIDENTIAL QUICK RESPONSE SPRINKLER HEADS IN DWELLING UNITS & ATTIC AREAS FED FROM SEPARATE FIRELINE PER C.O.S. ORDINANCE & INTERPRETATIONS & APPLICATIONS. CALCULATE UP TO FOUR REMOTE HEADS & 900 SQ FT MIN. IN ATTIC.</p> <p><input type="checkbox"/> 11. NFPA (2002 EDITION) COMMERCIAL SYSTEM / DESIGN CRITERIA:</p> <p><input type="checkbox"/> 12. BACKFLOW PREVENTION WILL BE REQUIRED ON VERTICAL RISER FOR CLASS 1 & 2 FIRE SPRINKLER SYSTEMS PER SCOTTSDALE REVISED CODE.</p> <p><input type="checkbox"/> 13. FIRELINE, SPRINKLER & STANDPIPE SYSTEM SHALL BE FLUSHED & PRESSURE TESTED PER NFPA STANDARDS & SCOTTSDALE REVISED CODES.</p> <p><input type="checkbox"/> 14. FDC SIAMESE CONNECTIONS FOR SPRINKLERS AND/OR STANDPIPES WILL BE LOCATED PER ORDINANCE AND/OR AT AN APPROVED LOCATION. MINIMUM SIZE 2-1/2 x 2-1/2 x _____(NSHT)</p> <p style="margin-left: 20px;"><input type="checkbox"/> 4' TO 8' BACK OF CURB; INDEP. WET LINE.</p> <p style="margin-left: 20px;"><input type="checkbox"/> WALL MOUNTED - 15' CLEAR OF OPENINGS.</p> |
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ATTACHMENT A

Stipulations for Case: 3-PP-2004#2

Case Name: Sienna Hills

Unless otherwise stated, the developer agrees to complete all requirements prior to final plan approval, to the satisfaction of Project Coordinator and the Final Plans staff.

Applicable Documents, Plans, And Relevant Cases

1. The improvement plans and plat shall be in substantial conformance to the following documents except as required by the Revised Scottsdale City Code, and the stipulations herein:

General Documents

- a. The location and configuration of all site improvements shall be constructed to be consistent with the Preliminary Plat submitted by Allen Consulting Engineers, Inc., dated 3/22/06 by City staff.
- b. The Design Standards and Policies Manual (DS&PM).

Planning Documents

- c. Each lot shall be constructed to comply with the Amended Development Standards submitted by Tornow Associates, PC, dated 3/22/06 by City staff.
- d. Landscaping shall be installed to be consistent with the conceptual landscape plan submitted by Tornow Associates, PC with a receipt dated of 3/22/06 by City staff.
- e. The Conceptual Walls Design by Tornow Design Associates, PC dated 4/7/2005 by City staff.
- f. The NAOS, including quantity, size, and location shall be installed to be consistent with the Natural Area Open Space (NAOS) Analysis exhibit submitted by Allen Consulting Engineers, inc., dated 3/22/06 by City staff.

Engineering Documents

- g. Preliminary Grading and Drainage Plan for Sienna Hills; prepared by Allen Consulting Engineers, Inc., dated March 11, 2006.
- h. All the relevant documents and reports submitted for the original project 3-PP-2004 (approved 7-7-05).

Relevant Cases

- i. At the time of review, the applicable Zoning, DRB, Use Permit, and etc. case(s) for the subject site were: 3-PP-2004 and 14-AB-2003.

Subdivision Plat Requirements

Subdivision Design

DRB Stipulations

2. The approved intensity may be changed due to drainage issues, topography, NAOS requirements, and other site planning concerns, which will need to be resolved at the time of final plat. Appropriate design solutions to these constraints may preclude achievement of the proposed intensity.

3. The final plat and the final improvement plans shall identify the ownership, use and the maintenance responsibilities of any land not used for residential lots.
4. The minimum total NAOS to be dedicated for this project shall be 4.30 acres.
5. The location and amount of NAOS to be dedicated shall be consistent with the Sienna Hills NAOS Analysis submitted by Allen Consulting Engineers and dated 3/22/06 by City staff.
6. The Final Plat shall identify the locations of all wall easements for "theme walls" and associated maintenance responsibilities.
7. The homeowners' association shall be responsible for the maintenance of the exterior "theme walls". The developer shall note this on the Final Plat.
8. Provide the following note on the final plat: Each lot contains a maximum building construction envelope approved by the City of Scottsdale's Development Review Board. The building envelope exhibit is on file at the City of Scottsdale. No buildings shall be located outside of the construction envelope.
9. Provide the following note to the final plat: Land designated as Natural Area Open Space (NAOS) shall be permanently maintained as natural desert space pursuant to the City of Scottsdale's Environmentally Sensitive Lands Ordinance. Designated NAOS areas shall not be accepted for the maintenance, or property ownership by the City of Scottsdale without expressed action of the City of Scottsdale's City Council. Before any improvement is accepted, it shall meet City standards. Failure to maintain the designated NAOS areas could result in a civil action brought by the City for costs incurred by the City of Scottsdale for maintenance and preservation.
10. No chain link fencing shall be allowed, except for construction fencing.

Ordinance

- A. The developer shall provide a separate, dimensioned, building envelope exhibit with the final plat review.
- B. All exterior lighting on individual residences shall be low scale and directed downward, recessed or shielded so that the light source is not visible from residential development in the area or from public viewpoint.
- C. All cuts and fills exceeding eight (8) feet shall return for separate Development Review Board approval.

Street Dedication Requirements

Ordinance

- D. The developer shall provide the following street rights-of-way:

STREET NAME	STREET TYPE	R.O.W. DEDICATION
Sahuaro Drive	Local Residential ESL	25-foot (Half-Street)
Internal Cul-de-Sac Street	Local Residential ESL	40-foot for full street, private tract
124 th Street	Major Collector	45-foot half-street (existing varies)
Gail Road	Local Residential ESL	25-foot half-street (25-foot half-street existing)

Easements

DRB Stipulations

11. Sight Distance Easements

- a. Sight distance easements shall be dedicated over sight distance triangles. Sight distance triangles shall be pursuant to figures: 3.1-13 and 3.1-14 of Section 3.1 of the City's Design Standards and Policies Manual, published December 1999.

- b. Provide the following note on final plat: Sight distance easements shall be clear of landscaping, signs, or other visibility obstructions between 2 feet and 7 feet as determined by the City of Scottsdale.

12. Vehicular Non-Access Easement:

- a. Prior to final plan approval, the developer shall dedicate a 1-foot wide vehicular non-access easement along the property frontages on Sahuaro Drive, 124th Street and Gail Road except at the approved driveway and emergency access location.

13. Indemnity Agreements:

- a. When substantial improvements or landscaping are proposed within a utility easement, an indemnity agreement shall be required. The agreement shall acknowledge the right of the City to access the easement as necessary for service or emergencies without responsibility for the replacement or repair of any improvements or landscaping within the easement.

14. Emergency Access Easement:

- a. The developer shall dedicate a minimum 20-foot-wide public access easement and an emergency and service vehicle access easement to extend from the cul-de-sac for the internal street right-of-way to the southerly property line for connection with the Sahuaro Drive right-of-way. The emergency and service vehicle access easement shall overlay onto the public access easement.

Ordinance

E. Drainage Easement:

- (1) Drainage and flood control easements shall be dedicated to the City to the limits of inundation for all washes having a discharge rate of 25 cfs or more, for all FEMA regulatory floodways to the extent of the 100-year base flood elevation, and for all stormwater storage basins. The plat shall state that all drainage and flood control easements shall be dedicated to the City with maintenance responsibility for drainage facilities and detention basins to be that of the property owner and/or the Homeowners Association.

F. Waterline and Sanitary Sewer Easements:

- (1) Before the issuance of any building permit for the site, the developer shall dedicate to the City, in conformance with the Scottsdale Revised Code and the Design Standards and Policies Manual, all water and sewer easements necessary to serve the site.

G. Public Utility Easement:

- (1) An 8-foot wide public utility easement shall be dedicated along both sides of internal streets. The 8-foot wide easements may be reduced or eliminated upon approval of the public utility companies.

H. An Natural Area Open Space Easement (NAOS):

- (1) A NAOS easement shall be dedicated to the City of Scottsdale for all areas designated as NAOS.

Final Improvement Plan Requirements

PLANNING

Walls, And Fence Design

DRB Stipulations

- 16. All walls shall match the architectural color, materials and finish of Conceptual Wall Plan submitted by Tornow Design Associates, PC with a staff receipt date of 3/22/06.
- 16. Walls within a sight visibility triangle shall not exceed 2'-0" measured from nearest street line as described in the DS&PM.

Ordinance

- I. The combined height of retaining and individual lot walls shall be a maximum of eight (8) feet, measured from the exterior grade.

Natural Area Open Space (NAOS)**DRB Stipulations**

17. The location and amount of NAOS to be dedicated shall be consistent with the Sienna Hills NAOS Analysis submitted by Allen Consulting Engineers and dated 3/22/06 by City staff.
18. Any NAOS that is dedicated over a Public Utility Easement shall be counted as revegetated NAOS.
19. NAOS shall not be dedicated within 5-feet of any building.
20. NAOS areas dedicated within 10-feet of any building shall considered revegetated NAOS.
21. NAOS areas dedicated within 5-feet of any wall shall considered revegetated NAOS.

Construction Envelope Exhibit**DRB Stipulations**

22. Add the following note the final construction envelope exhibit: "Modification to the building envelope exhibit shall require the approval of the Development Review Board."

Ordinance

- J. The developer shall provide a separate dimensioned construction envelope exhibit with the improvement plan review.

Landscape Design**DRB Stipulations**

23. The applicant shall submit a Landscape Plan for Staff Approval before final plat submittal for improvement plans review. The Landscape Plan shall include plant species, size and location.
24. All cuts and fills, including any proposed berms, shall be contoured to blend with the adjacent existing landforms, to the satisfaction of Plan Review and Permit Services staff.
25. All culverts, headwalls, and all other drainage structures shall be integrally colored to blend with the natural desert.
26. Upon removal of the salvageable native plants the salvage contractor shall submit completed Native Plant Tracking Form as well as a list identifying the tag numbers of the plants surviving salvage operations to the City's Inspection Services Unit within 3 months from the beginning of salvage operations and/or prior to the issuance of the Certificate of Occupancy.
27. Salvaged vegetation shall be incorporated into the landscape design.
28. Provide the following note: Area within a sight distance triangle shall be clear of landscaping, signs, or other visibility obstructions with a height greater than 2 feet. Trees within a sight distance triangle shall have a canopy that begins at 7 feet in height upon installation. All heights are measured from nearest street line.
29. All roadway tracts shall be landscaped and maintained by the developer and/or homeowner association.
30. Riprap shall be indigenous or native stone and shall not be provided within the NAOS areas.
31. All rights-of-way adjacent to this property shall be landscaped and maintained by the property owner.

Ordinance

- K. All plant materials shall be on the Department of Water Resources (DWR) low water plant list for the Phoenix Active Management Area (AMA) and the ESLO Indigenous Plant list.
- L. Non-indigenous plant materials, which have a potential of exceeding 20 feet in height, are not to be introduced on site, per the ESLO provisions of the Zoning Ordinance.

Exterior Lighting Design**DRB Stipulations**

32. No lighting shall be permitted in dedicated NAOS easements.
33. All exterior luminaries shall meet all IESNA requirements for full cutoff, and shall be aimed downward and away from property line, except sign and landscape lighting.
34. Incorporate into the project's design, the following:
 - Landscape Lighting
 - a. All landscape lighting directed upward shall utilize the extension visor shields to limit the view of the lamp source.
 - b. Fixtures shall be a flat black or dark bronze finish or approved by the Development Review Board.
 - c. Landscaping lighting shall only be utilized to accent plant material.
 - d. All landscape lighting directed upward, shall be aimed away from property line.
 - e. All landscape lighting hanging in vegetation, shall contain recessed lamps, and be directed downward and away from property line.
 - f. The landscape lighting lamp shall be an incandescent or halogen incandescent source.

Ordinance

- M. The landscape light lamps shall not exceed 15 watts.

Additional Planning Items**DRB Stipulations**

35. Flagpoles, if provided, shall be one piece, conical, and tapered.
36. As part of the sales of any residential lot adjacent to a public trail, path, or commercial property, the developer shall require the purchaser to sign an acknowledgement that the property is adjacent to a public trail, path, or commercial property.

Ordinance

- N. Signage shall obtain separate review and approval.

ENGINEERING

Drainage And Flood Control**DRB Stipulations**

37. Demonstrate consistency and conformance with accepted drainage plans and reports from Section I, Applicable Engineering Documents and Plans.
 - a. The developer shall submit two (2) hard copies and one (1) compact disc copy of complete final plans/reports prior to final City of Scottsdale approval of the improvement plans.
38. Basins shall be designed such that the depth of water does not exceed 3 feet for all storm frequencies up to the 100 year 2 hour event.
39. Basin sideslopes shall not exceed 4:1 (ratio of 4 feet horizontal to 1 foot vertical) wherever practical.
40. Basins shall be designed to have positive outfall whenever practical. When positive outfall cannot be provided, then mechanical means shall be used to drain the basin. Percolation, including dry wells, shall not be allowed. Provide bleed-off calculations that demonstrate the discharge rate and the time to drain.
41. All 404 jurisdictional delineations shall be shown on the final improvement plans and the final drainage report drainage exhibit/plan. All areas of disturbance shall be clearly noted. A completed 404 Certification Form shall be submitted with final improvement plans. A copy of the 404 permit from the U.S. Army Corps of Engineers, including an exhibit showing the delineations, shall be

submitted prior to approval of final improvement plans. Limits of disturbance and other conditions must be in conformance with the 404 permit.

42. All onsite erosion protection and floodwalls necessary to protect residential structures from flooding, within a given parcel, shall be constructed as infrastructure improvements for that parcel, even if they are located in a different parcel, prior to the issuance of building permits in that parcel.
43. Provide positive drainage away from walks and curbs along all streets.
44. Riprap shall be indigenous stone.
45. All exposed cut and fill shall be treated with eonite or equivalent.

Ordinance

- O. A Stormwater Storage Waiver for this development has been approved On 2-17-05 by the City's Stormwater Management Division.
- P. Street Crossings:
 - (1) Watercourse crossings for roads shall be designed to provide for 100-year access to all lots by at least one route. Accessibility will be considered to exist if it can be shown by the engineer that at the time of the peak flow, the depth of flow over the road will not be greater than 1 foot.

Roadway, Intersection, And Access Design

DRB Stipulations

46. Streets and other related improvements:

STREET NAME	STREET TYPE	R.O.W. DEDICATION	ROADWAY IMPROVEMENT	CURB TYPE	BIKEPATH/ SIDEWALK
Sahuaro Drive	Local Residential ESL	25-foot (Half-Street) See notes below.	Half-Street, Figure 700-5, ESL Road Design Standards	Roll	6-foot-wide sidewalk per ESL Design Standards
Internal Cul-de-Sac Street	Local Residential ESL	40-foot for full street, private tract See notes below.	Figure 700-5 and Figure 700-6 , ESL Road Design Standards	Roll	No sidewalk
124 th Street	Major Collector	45-foot half-street (existing varies)	Complete major collector half street improvements	Existing	8-foot-wide sidewalk per ESL Design Standards
Gail Road	Local Residential ESL	25-foot half-street (25-foot half-street existing)	Complete local residential half street improvements	Roll	6-foot-wide sidewalk per ESL Design Standards

Notes:

1. The developer shall design and construct the internal street to local residential street standards within a minimum 40-foot-wide private tract. The street shall be designed in accordance with Figure 700-5, Local Residential Street, and Figure 700-6, Residential Cul-de-sac Street, from the City of Scottsdale ESL Road Design Standards, dated May 1992.

2. The developer shall design and construct a half-street improvement for Sahuaro Drive including a wash crossing (culvert / bridge) to local residential street standards with a minimum 25-foot-wide right-of-way as shown on the Sienna Hills Site Plan, prepared by Allen Consulting Engineers and dated February 26, 2004 found in case file 3-PP-2004. The street shall be designed in accordance with Figure 700-5, Local Residential Street, and Figure 700-6, Residential Cul-de-sac Street, from the City of Scottsdale ESL Road Design Standards, dated May 1992, for design information. With the final plan submittal to the Plan Review and Permit Services Division, the improvement plans for the half-street construction shall show the design for the full cross-section of the street, with the future construction to be shown in dashed lines.

INTERNAL CIRCULATION:

47. The developer shall design and construct an eight-foot sidewalk along the site frontage on 124th Street in accordance with ESL design standards.
48. The developer shall design and construct a six-foot sidewalk along the site frontage on Gail Road in accordance with ESL design standards, and construct curb cuts with sidewalk ramps at the intersection with the internal residential street.
49. The developer shall design and construct a six-foot wide sidewalk along the site frontage on Sahuaro Drive in accordance with ESL design standards.
50. The developer shall dedicate a minimum 20-foot-wide public access easement and an emergency and service vehicle access easement to extend from the cul-de-sac for the internal street right-of-way to the southerly property line for connection with the Sahuaro Drive right-of-way. The emergency and service vehicle access easement shall overlay onto the public access easement.
51. Prior to final plan approval, the developer shall dedicate an 8-foot wide public utility easement along both sides of the internal street. The 8-foot wide easements may be reduced or eliminated upon the submittal of written approval by the public utility companies with the final plans submittal to the Plan Review and Permit Services Division. When substantial improvements or landscaping are proposed within a utility easement, an indemnity agreement shall be required. The agreement shall acknowledge the right of the City to access the easement as necessary for service or emergencies without responsibility for the replacement or repair of any improvements or landscaping within the easement.
52. Developer shall submit a Circulation Basis of Design Report to address final geometrics, roadway transitions, and sequencing of roadway infrastructure improvements for all offsite work to be reviewed and approved by the City, prior to submittal of final improvement plans.
53. Where a gated entrance is proposed, the developer shall design and construct the gated entrance in conformance with the City's Design Standards and Policies Manual.
54. The internal streets shall be private. The private street tracts shall be dedicated to provide emergency and service vehicle access and public utility construction and maintenance.

Ordinance

- Q. The developer shall submit a detailed striping and signage plan with final plans. The striping and signage plan shall include all existing improvements and striping within 300 feet of the limits of construction, and all signs, striping, or other traffic control devices proposed to accommodate phased and ultimate construction.
- R. Public streetlights shall be installed in accordance with City of Scottsdale Revised Code, Section 48-149. The developer shall be responsible for coordinating a street layout and cost estimate with the utility company. Building permits may not be issued until all street light arrangements (including fee requirements) have been made.

STREET LIGHTS:

- S. Concurrent with the final plat approval, the developer shall create a streetlight improvement district to fund the operation and maintenance of the streetlights to be provided with the subdivision improvements.

Paths**DRB Stipulations**

55. The developer shall construct all public paths (sidewalks) per the MAG Standard Details as determined by the Plan Review Staff.

Water And Wastewater Stipulations

The following stipulations are provided to aid the developer in submittal requirements, and are not intended to be all-inclusive of project requirements.

DRB Stipulations

56. BASIS OF DESIGN REPORT (WATER). Before the improvement plan submittal to the Plan Review and Permit Services Division, the developer shall submit a basis of design report and plan to the One Stop Shop in Development Services. The report must be approved by the Water Resources Department **before** the developer submits the improvement plans to the One Stop Shop. The basis of design report shall conform to the Design Standards and Policies Manual. In addition, the basis of design report and plan shall:
- Identify the location, size, condition and availability of existing water lines and water related facilities such as water valves, water services, fire hydrants, back-flow prevention structures, etc.
 - Identify the timing of and parties responsible for construction of all water facilities.
 - Include a complete description of requirements relating to project phasing.
 - Identify the location of required pressure reducing valve locations as applicable, and provide the results of a pressure flow test.
57. BASIS OF DESIGN REPORT (SANITARY SEWER).). Before the improvement plan submittal to the Plan Review and Permit Services Division, the developer shall submit a basis of design report and plan to the One Stop Shop in Development Services. The report must be approved by the Water Resources Department before the developer submits the improvement plans to the One Stop Shop. The basis of design report shall conform to the Design Standards and Policies Manual. In addition, the basis of design report and plan shall:
- Identify the location of, the size, condition and availability of existing sanitary sewer lines and wastewater related facilities.
 - Identify the timing of and parties responsible for construction of all sanitary sewer facilities.
 - Include a complete description of requirements relating to project phasing.
 - Clearly identify water sampling station locations as applicable.
58. APPROVED BASIS OF DESIGN REPORTS. **Before** the improvement plan submittal to the Plan Review and Permit Services Division, the developer shall have obtained approval of the Basis of Design Reports for Water and Wastewater.
59. Whenever looped or outfall lines are required outside the roadway prism, the lines shall be located in a tract (not on a lot) with a 20' water/sewer easement overlaying the alignment. These alignments shall be graded and maintained in a manner that allows access for maintenance purposes, in accordance with the City's Design Standards and Policies Manual.

60. Where walls cross or run parallel with public water mains, public sewer mains, or public fire lines the following shall apply:
- For walls constructed parallel to these pipes, the walls shall be a minimum of six (6) feet from the outside diameter of the pipe.
 - For walls constructed across or perpendicular to these pipes, the walls shall be constructed with gates or removable wall panels for maintenance and emergency access.

Water

Ordinance

- T. The water system for this project shall meet required health standards and shall have sufficient volume and pressure for domestic use and fire protection.

Wastewater

Ordinance

- U. Privately owned sanitary sewer shall not run parallel within the waterline easement.

Bridge/Wash Crossing And Head Wall Design

DRB Stipulations

61. All concrete headwalls and drainage structures shall be integrally colored to blend with the colors of the surrounding natural desert.
62. Bridges:
- All drainage crossings, including any configuration of box culverts or pipes that span 20 feet or more (as measured along the roadway centerline) shall be subject to review and approval by City staff.
 - Bridge (or other crossings) finish shall be integrally colored pima beige.

Construction Requirements

As-Built

DRB Stipulations

63. Improvement plans that document all ongoing construction, including, but not limited to, field changes, as-built locations, or other modifications, shall be maintained at the construction site, and shall be made available to City staff for review upon request.
64. City staff may request the developer to submit as-built plans to the Inspection Services Division prior to acceptance of construction, or within one year from the date of acceptance.
65. As-built plans shall be certified in writing by a registered professional civil engineer, using as-built data from a registered land surveyor.
66. As-built plans for drainage facilities and structures shall include, but are not limited to, streets, lot grading, storm drain pipe, valley gutters, curb and gutter, flood walls, culverts, inlet and outlet structures, dams, berms, lined and unlined open channels, storm water storage basins, underground storm water storage tanks, and bridges, as determined by city staff.

Summary Of Development Standards

Subdivision Name	Sienna Hills
Zoning	R1-43 ESL

	Ordinance Requirements	Amended Standards	(%) Proposed Reduction
A. MIN. LOT AREA	43,000SF	33,000SF	24.02%
B. MIN. LOT WIDTH			
1. Standard Lot	150'	130'	13.3%
C. DENSITY	1 unit per lot	1 unit per lot	NC
D. MAXIMUM BUILDING HEIGHT	24'	24'	NC
E. MIN. YARD SETBACKS			
1. FRONT YARD			
FRONT (to face of building)	40'	30'	25%
b. FRONT (double frontage)	40'	30'	25%
FRONT (corner lot, side street, adjacent to key lot side street)	40'	30'	25%
2. SIDE YARD			
• Minimum	20'	15'	25%
3. REAR YARD			
• Minimum	35'	35'	NC
F. DISTANCE BETWEEN BUILDINGS (MIN)			
1. Accessory & Main	10'	10'	NC
2. Main Buildings/Adjacent Lots	40'	30'	25%
G. MAXIMUM WALL HEIGHT			
FRONT	3'	3'	NC
SIDE	8'	8'	NC
REAR	8'	8'	NC
Side/Rear with a 20' setback from PL	12'	12'	NC
Corral fence height (on prop line)	6'	6'	NC